

CO-LIVING - ALTERATIONS AND ADDITIONS

DA SUBMISSION

1246 Canterbury Road, Roselands NSW 2196

PROJECT NO. 21433

No.	DRAWING NAME
DA_000.	COVER SHEET
DA_001.	SECTION J
DA_100.	SITE PLAN & ANALYSIS
DA_102.	SEDIMENT CONTROL PLAN
DA_200.	GROUND FLOOR PLAN
DA_201.	FIRST FLOOR PLAN
DA_202.	SECOND FLOOR PLAN
DA_203.	ROOF PLAN
DA_300.	ELEVATIONS
DA_302.	STREETSCAPE
DA_400.	SECTION
DA_500.	CALCULATIONS - GFA
DA_600.	SHADOWS - PLAN
DA_701.	3D VISUAL
DA_800.	NOTIFICATION PLAN

CANTERBURY - BANKSTOWN DCP & LEP

Land Zoning:	B2 - Local Centre
Site Area:	566.6 m²
LOT / DP:	Lot 1 DP 19122

STANDARD	REQUIREMENTS	PROVIDED	COMPLIES
FSR (m²):	NIL	Total FSR - TBC m²	YES
Maximum Building Height:	18m	11.5m	YES

SEPP AFFORDABLE RENTAL HOUSING			
STANDARD	REQUIREMENTS	PROVIDED	COMPLIES
Solar Access	3 Hours between 9am and 3pm to communal living area	TBC	YES
COS (Common Terrace)	TBCm² required.	TBCm²	YES
Manager's POS	TBCm² required.	TBCm²	YES
Car Parking	0.5 Car Spaces per Boarding Rooms - TBC 1 Parking Space for Manager - TBC 1 Commercial Parking - TBC Total - TBC	TBC	Refer to SEE
Bicycle & Motor Bike Parking	1 Bicycle per 5 Board Rooms - TBC 1 Motor Bike per 5 Board Rooms - TBC	TBC	YES
Min. Room Sizes	Single - 12m² required. Double - 16m² required.		YES
Max. Room Sizes	25m² required.		YES
Communal Living Area	Yes, when more than 5 Board Rooms.	TBC	YES
Manager's Room	Yes, when more than 20 Board Rooms	TBC	YES

Proposed Boarding House
1246 Canterbury Road Roselands 2196

STATEMENT OF COMPLIANCE

The design documentation as referred to in this report has been assessed against the applicable provisions of Section J of the National Construction Code (NCC2022) and it is considered that such documentation complies with or is capable of complying (as outlined above) with that Code (NCC2022).

The proposed building fabric and glazing requirements are analysed using the SPECKEL software (Clauses J4D4 Roof and ceiling construction, J4D5 Roof lights, J4D6 Walls and glazing and J4D7 Floors). Please note that while the remaining parts J5 to J9 are listed in this report as requirements from the NCC, their implementation falls under the purview of competent and licensed professionals, such as engineers and contractors.

Overall, the building will comply with the applicable provisions of Section J of the NCC2022, with each professional responsible for ensuring compliance with the relevant clauses of the code in their respective fields.

Assessor: Zoran Cvetkovski
Thermal Performance Assessor
B.Eng.

[Signature]



Conclusions
SUMMARY OF SOLUTIONS TO COMPLY WITH SECTION J PERFORMANCE REQUIREMENTS DTS Method (NCC2022)

The following table is a summary of the requirements for compliance with Section J.

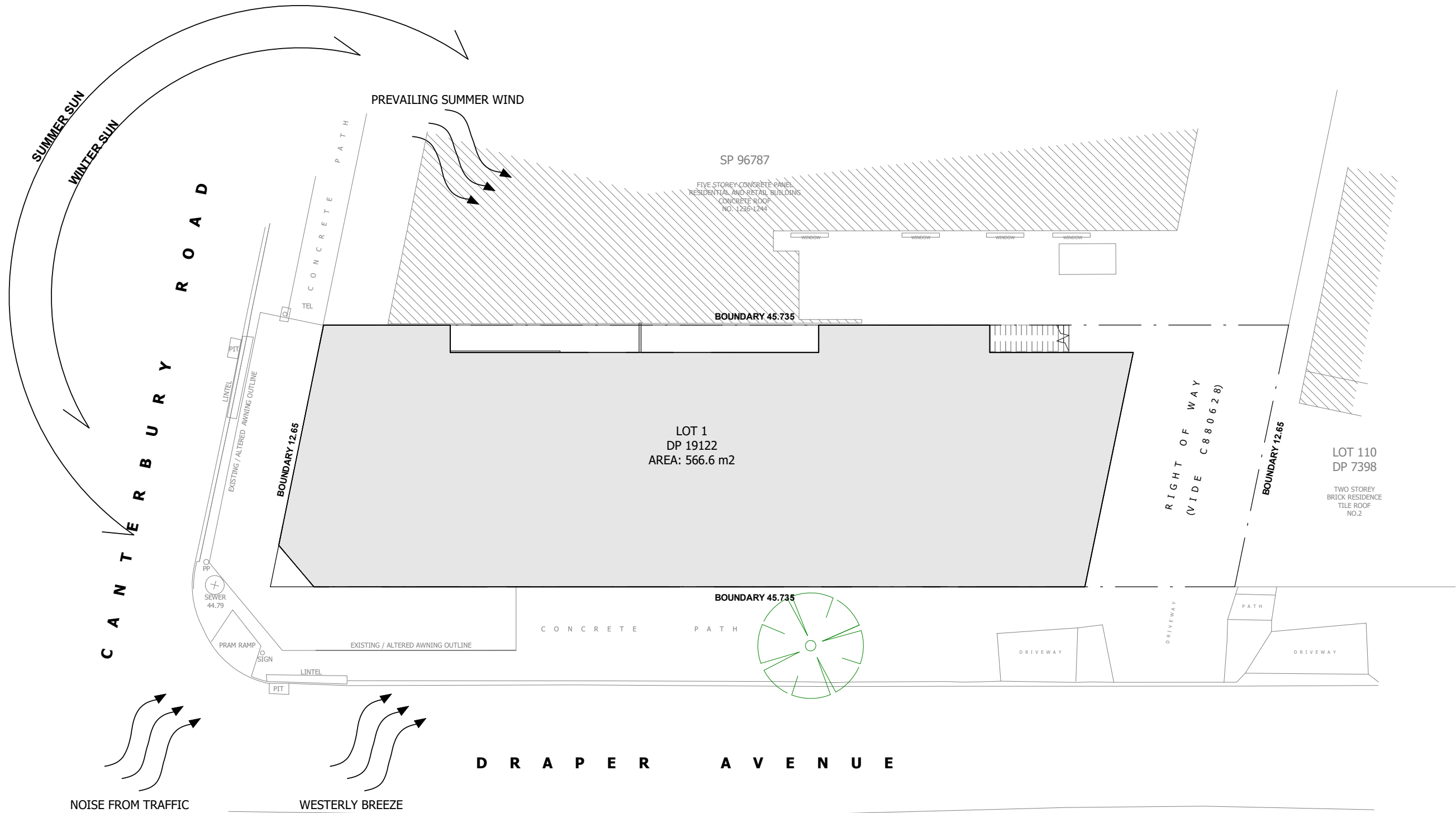
Clause-Description	Status																														
Part J1 Energy efficiency performance requirements	Table of NCC requirements																														
	<table><tr><th>Wall Type</th><th>R-Value m²K°/W</th><th>Solar Absorptance</th></tr><tr><td>External</td><td>1.4</td><td>0.6</td></tr><tr><td colspan="3">(applicable to new walls only)</td></tr><tr><th>Floor Type</th><th>R-Value m²K°/W</th><th>Solar Absorptance</th></tr><tr><td>Bottom</td><td>2</td><td>-</td></tr><tr><td>External</td><td>2</td><td>-</td></tr><tr><td colspan="3">(applicable to new floors only)</td></tr><tr><th>Roof Type</th><th>R-Value m²K°/W</th><th>Solar Absorptance (Max)</th></tr><tr><td>External</td><td>3.7</td><td>0.45</td></tr><tr><td colspan="3">(applicable to new roofs only)</td></tr></table>	Wall Type	R-Value m²K°/W	Solar Absorptance	External	1.4	0.6	(applicable to new walls only)			Floor Type	R-Value m²K°/W	Solar Absorptance	Bottom	2	-	External	2	-	(applicable to new floors only)			Roof Type	R-Value m²K°/W	Solar Absorptance (Max)	External	3.7	0.45	(applicable to new roofs only)		
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NSW J1P4 Renewable energy and electric vehicle charging	A building must have features that facilitate the future installation of on-site renewable energy generation and storage and electric vehicle charging equipment.																														
Roof and wall thermal break	The roof and the wall thermal bridges are analyzed with SPECKEL thermal bridge calculator. The calculation is attached to the report in the section (Speckel).																														
PART J4 Building fabric.																															
J4D3 Thermal construction — general	<p>(1) Where required, insulation must comply with AS/NZS 4859.1 and be installed so that it—</p> <ul style="list-style-type: none">a. abuts or overlaps adjoining insulation other than at supporting members such as studs, noggings, joists, furring channels and the like where the insulation must be against the member; andb. forms a continuous barrier with ceilings, walls, bulkheads, floors or the like that inherently contribute to the thermal barrier; andc. does not affect the safe or effective operation of a service or fitting. <p>(2) Where required, reflective insulation must be installed with—</p> <ul style="list-style-type: none">a. the necessary airspace to achieve the required R-Value between a reflective side of the reflective insulation and a building lining or cladding; andb. the reflective insulation closely fitted against any penetration, door or window opening; and																														

	<p>c. the reflective insulation adequately supported by framing members; and</p> <p>d. each adjoining sheet of roll membrane being—</p> <ul style="list-style-type: none">i. overlapped not less than 50 mm; orii. taped together. <p>(3) Where required, bulk insulation must be installed so that—</p> <ul style="list-style-type: none">a. it maintains its position and thickness, other than where it is compressed between cladding and supporting members, water pipes, electrical cabling or the like; andb. in a ceiling, where there is no bulk insulation or reflective insulation in the wall beneath, it overlaps the wall by not less than 50 mm. <p>(4) Roof, ceiling, wall and floor materials, and associated surfaces are deemed to have the thermal properties listed in Specification 36.</p> <p>(5) The required Total R-Value and Total System U-Value, including allowance for thermal bridging, must be—</p> <ul style="list-style-type: none">a. calculated in accordance with AS/NZS 4859.2 for a roof or floor; orb. determined in accordance with Specification 37 for wall-glazing construction; orc. determined in accordance with Specification 39 or Section 3.5 of CIBSE Guide A for soil or sub-floor spaces.
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The clauses J4D4 Roof and ceiling construction, J4D5 Roof lights, J4D6 Walls and glazing and J4D7 Floors are assessed with the Speckel software and the NCC Façade Calculator, and the results are summarized in the table below:

Below is given only one option, how the NCC requirements for the building elements can be met. Any other solution meeting the values of NCC requirement table (Page 3 of the report) is acceptable.

J4D4 Roof and ceiling construction	<table><tr><th>Required</th><th>Additional insulation</th></tr><tr><td>R3.7 (downwards) * The solar absorptance of the upper surface of a roof must be not more than 0.45.</td><td>Timber Frame Metal Roof Additional insulation:<ul style="list-style-type: none">➤ Membrane: Ametalin Ametalin CeaseFire™ (0.17mm)➤ Composite: Knauf Insulation Earthwool® Ceiling Batt (175mm) R3.5Timber Frame Flat Roof Additional insulation:<ul style="list-style-type: none">➤ Composite: Knauf Insulation Earthwool® Ceiling Batt (195mm) R4.0 /see SPECKEL summary/ *This is only one proposed option how to meet the NCC requirements</td></tr></table>	Required	Additional insulation	R3.7 (downwards) * The solar absorptance of the upper surface of a roof must be not more than 0.45.	Timber Frame Metal Roof Additional insulation: <ul style="list-style-type: none">➤ Membrane: Ametalin Ametalin CeaseFire™ (0.17mm)➤ Composite: Knauf Insulation Earthwool® Ceiling Batt (175mm) R3.5 Timber Frame Flat Roof Additional insulation: <ul style="list-style-type: none">➤ Composite: Knauf Insulation Earthwool® Ceiling Batt (195mm) R4.0 /see SPECKEL summary/ *This is only one proposed option how to meet the NCC requirements
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NOTE

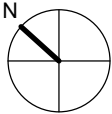
ISSUE DATE PURPOSE OF ISSUE

PROJECT
1246 CANTERBURY ROAD,
ROSELANDS NSW 2196

CLIENT
-

STATUS
FOR APPROVAL

STAGE
DA



DRAWING NO.
DA-100

SCALE
1 : 200

DATE
03.03.2025

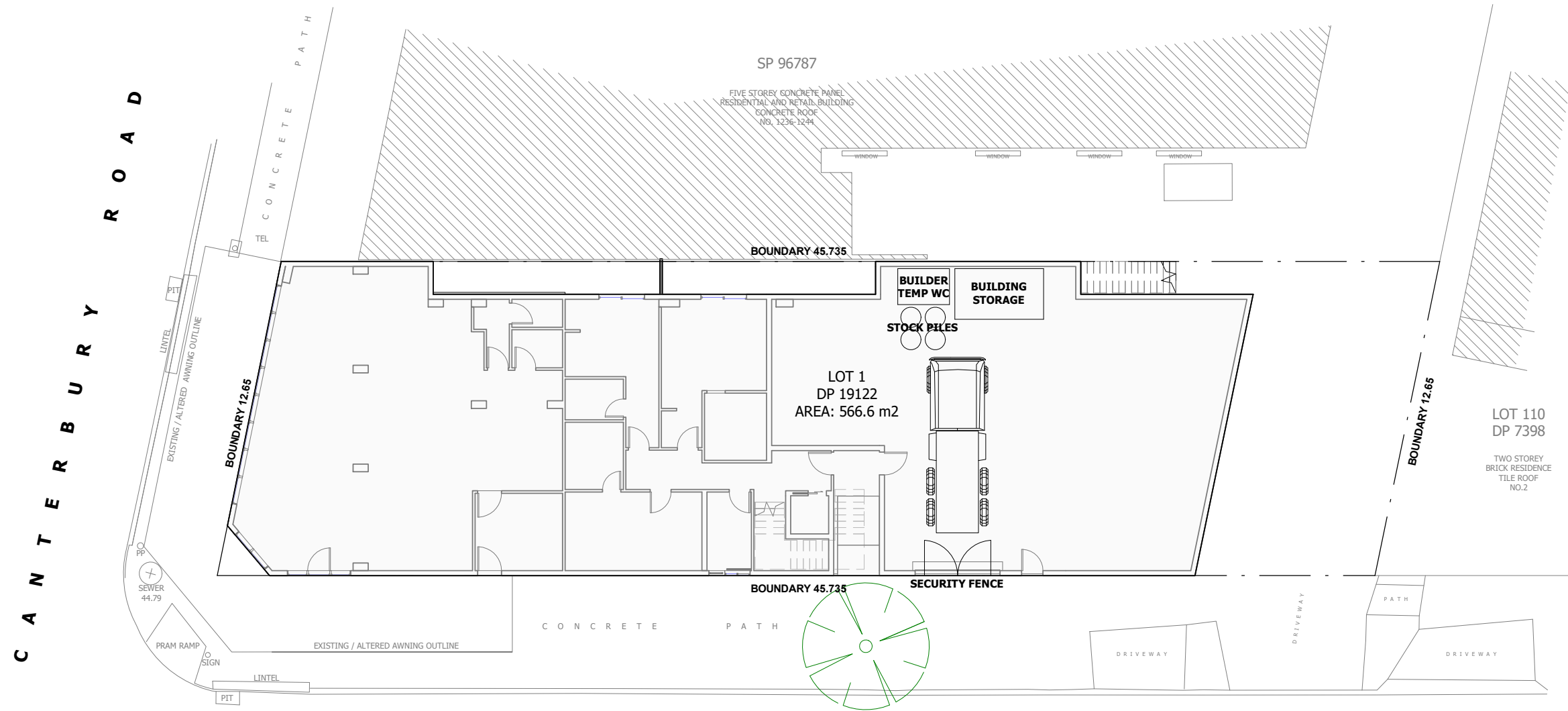
ISSUE
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JOB NO.
21433

DRAWING TITLE
Site Plan & Analysis

DRAWN BY
WB

CHECKED BY
RZ



SOIL AND WATER
MANAGEMENT NOTES

01. ALL EROSION AND SEDIMENT
CONTROL MEASURES
TO BE INSPECTED AND
MAINTAINED DAILY BY
SITE MANAGER

02. MINIMISE DISTURBED AREAS

03. ALL STOCKPILES TO BE CLEAR
FROM DRAINS, GUTTERS AND
FOOTPATHS.

04. DRAINAGE TO BE CONNECTED
TO STORMWATER SYSTEM
AS SOON AS POSSIBLE.

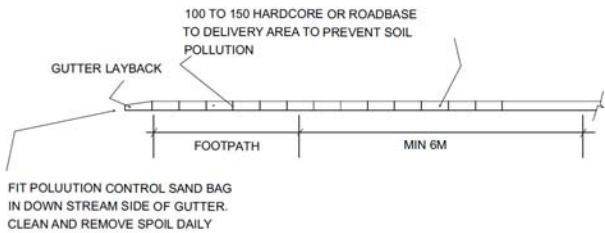
05. ROADS AND FOOTPATHS TO BE
SWEEP DAILY AND KEPT CLEAN
AT ALL TIMES

10. THE STREET DRAINAGE PIT
LOCATED DOWNHILL OF THE
SITE SHALL BE PROTECTED FROM
SEDIMENT WITH HAY BALES.

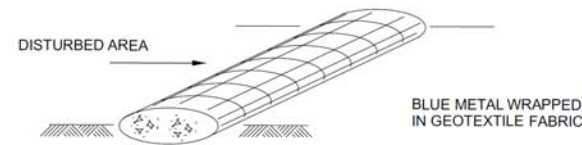
11. A SINGLE CONSTRUCTION
ENTRANCE SHALL BE ESTABLISHED
IN THE MANNER SHOWN IN THE
ATTACHED DETAILS.

12. THIS DRAWING SHALL BE READ IN
CONJUNCTION WITH ARCHITECTURAL
AND STRUCTURAL ENGINEERING
DOCUMENTS. ANY DISCREPANCIES
SHALL BE REPORTED BY THE
BUILDER TO THE ARCHITECT PRIOR
TO COMMENCEMENT OF THE ITEM.

13. IF IN DOUBT, ASK THE
SUPERINTENDENT WHO SHALL
CONSULT THE DESIGNER.

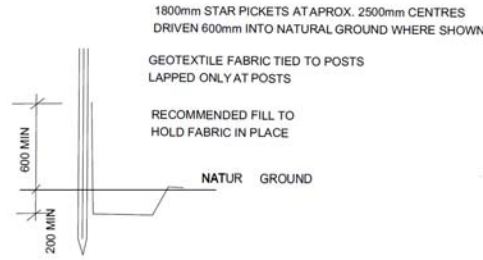


SECTION THRU UNLOADING DRIVEWAY

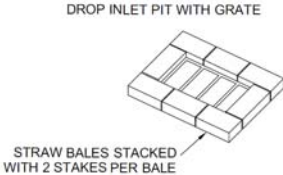


SEDIMENT BARRIER

N.T.S.



SECTION THRU TYPICAL
SEDIMENT CONTROL FENCING



STRAW BALE DROP INLET
SEDIMENT TRAP

N.T.S.



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STATUS
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STAGE
DA

DRAWING NO.
DA-102

SCALE
1 : 200

DATE
03.03.2025

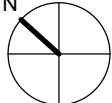
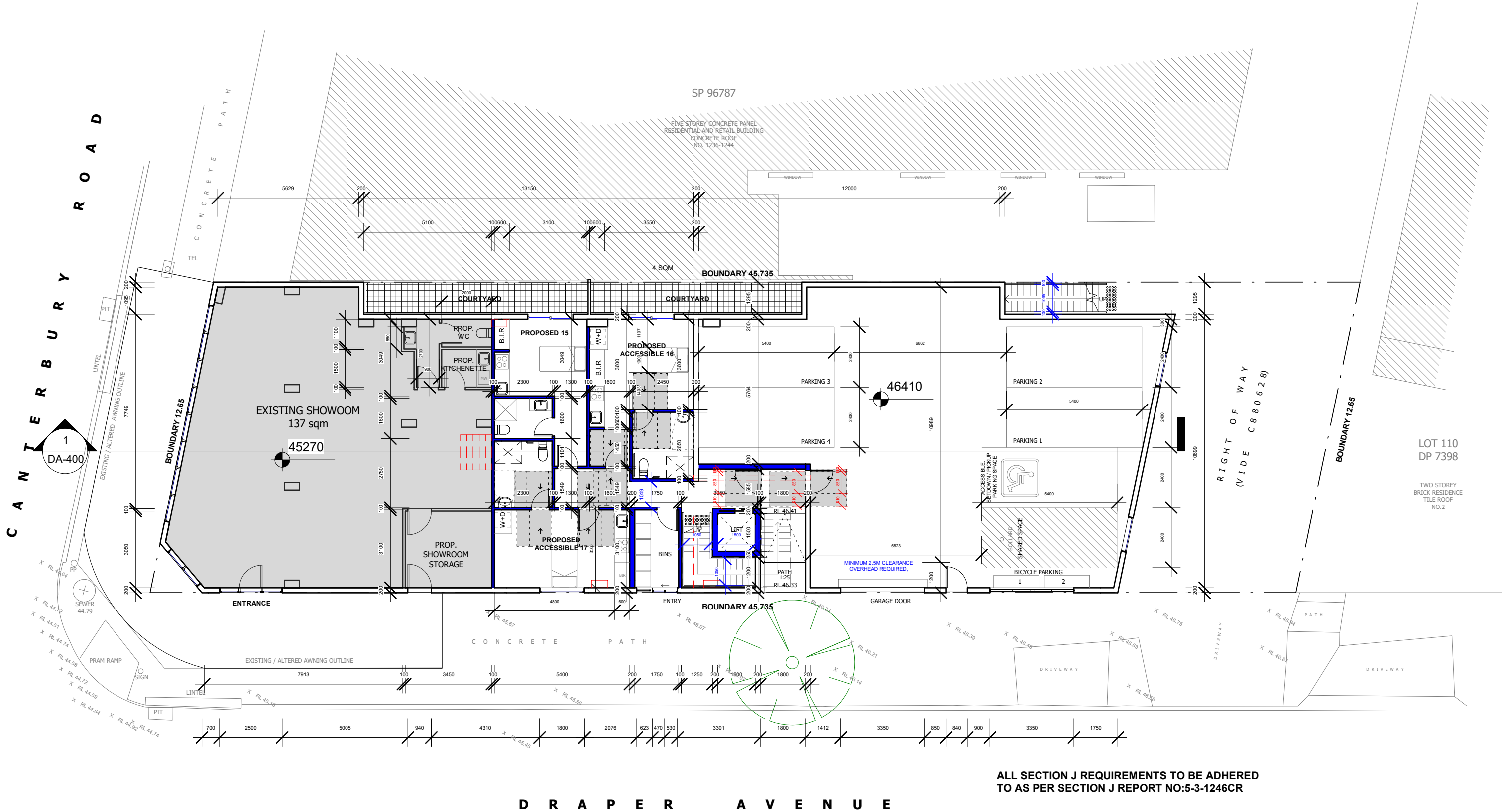
ISSUE
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JOB NO.
21433

DRAWING TITLE
Sediment Control Plan

DRAWN BY
WB

CHECKED BY
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ALL SECTION J REQUIREMENTS TO BE ADHERED
TO AS PER SECTION J REPORT NO:5-3-1246CR

D R A P E R A V E N U E



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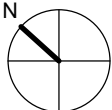
ISSUE DATE PURPOSE OF ISSUE

PROJECT
1246 CANTERBURY ROAD,
ROSELANDS NSW 2196

CLIENT
-

STATUS
FOR APPROVAL

STAGE
DA



DRAWING NO.
DA-201

SCALE
1 : 150

DATE
03.03.2025

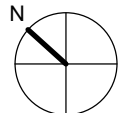
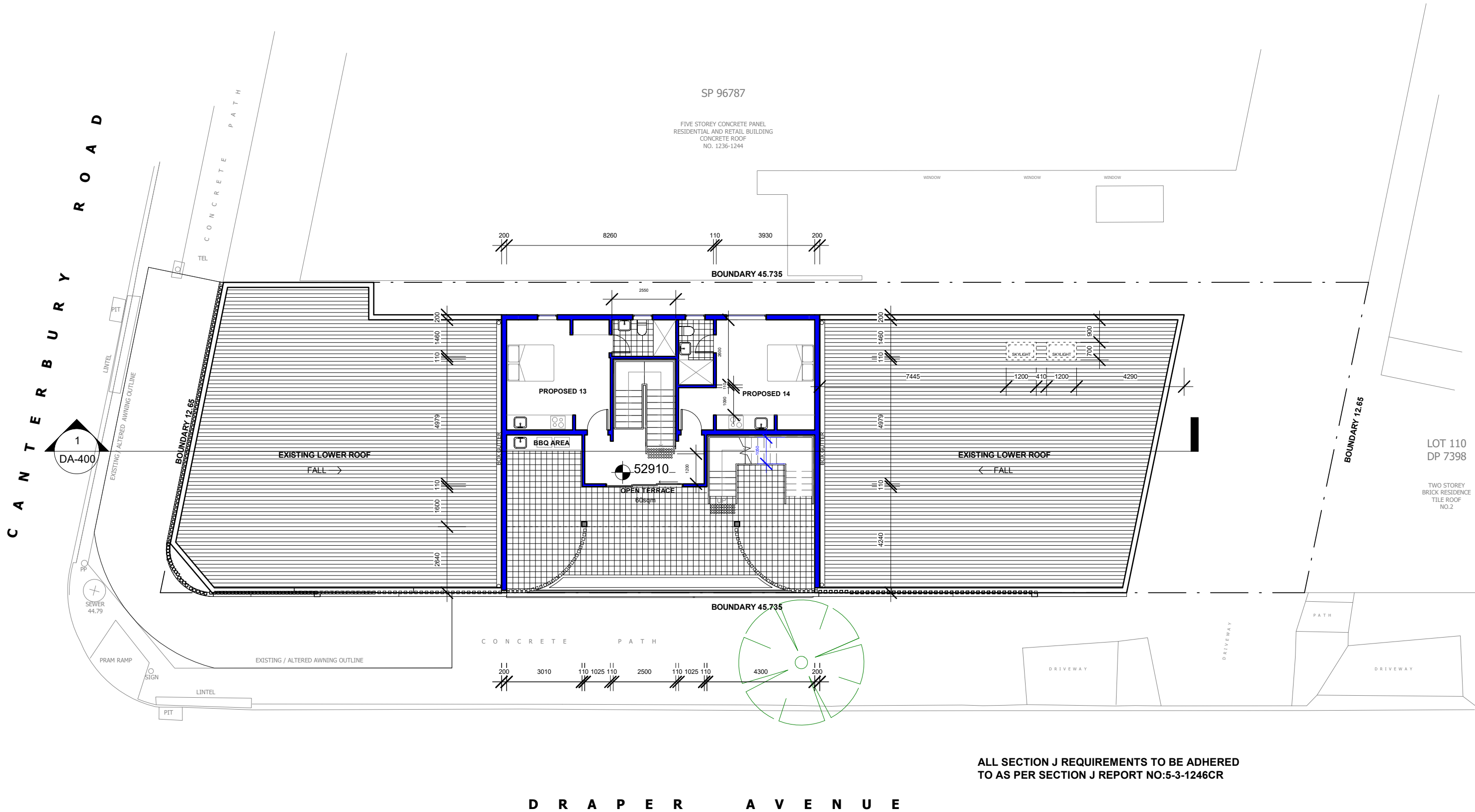
ISSUE
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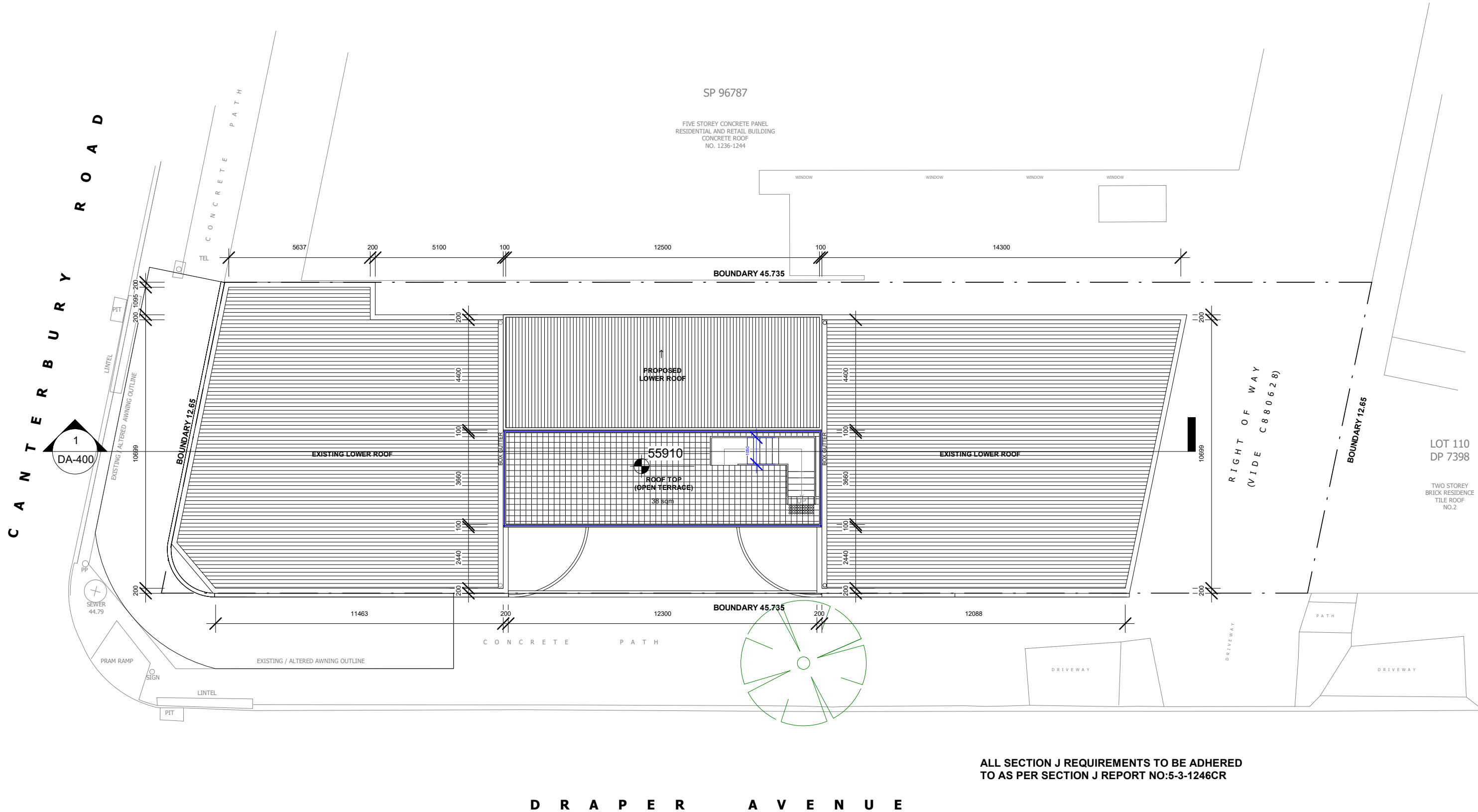
JOB NO.
21433

DRAWING TITLE
First Floor Plan

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WB

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RZ







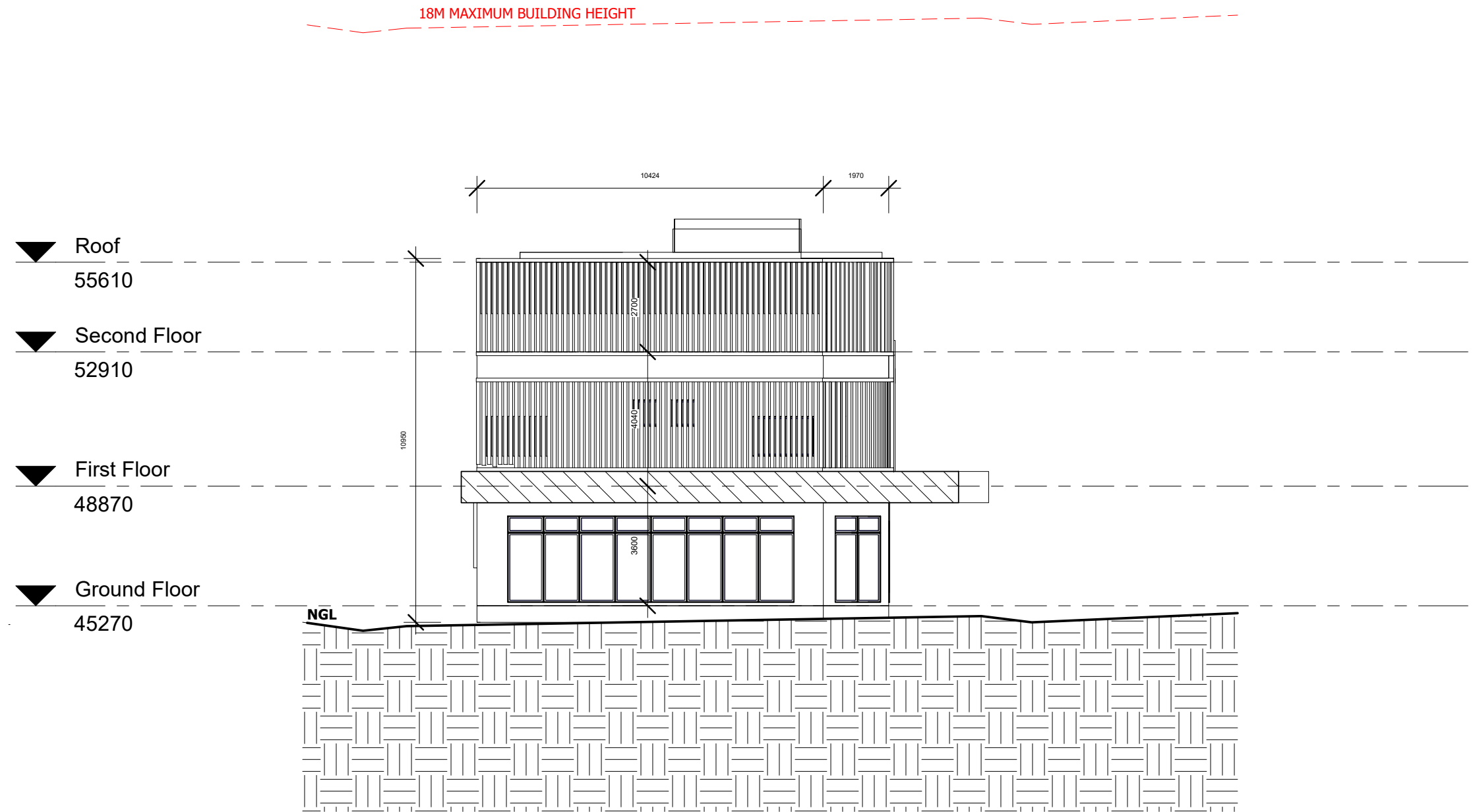
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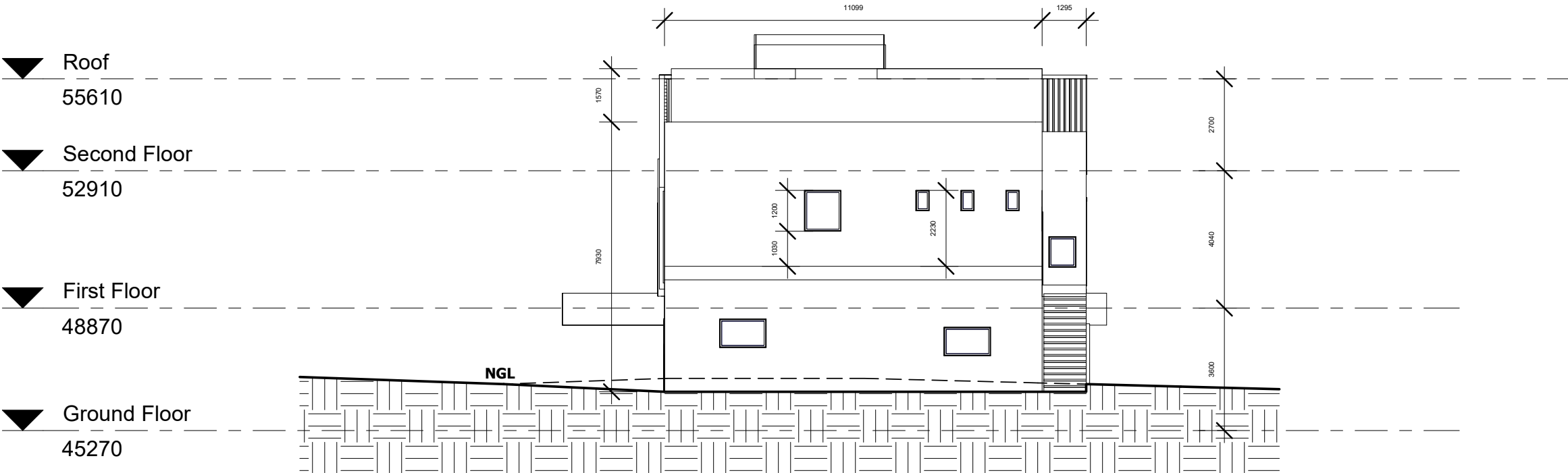
ACCREDITED
BUILDING DESIGNER

NOTE	ISSUE	DATE	PURPOSE OF ISSUE	PROJECT	STATUS	DRAWING NO.	ISSUE	DRAWN BY
				1246 CANTERBURY ROAD, ROSELANDS NSW 2196	FOR APPROVAL	DA-203	A	WB
				CLIENT	STAGE	SCALE	JOB NO.	CHECKED BY
				-	DA	1 : 150	21433	RZ
						DATE	DRAWING TITLE	
						03.03.2025	Roof Plan	



NORTH ELEVATION

18M MAXIMUM BUILDING HEIGHT



SOUTH ELEVATION



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STATUS
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STAGE
DA

DRAWING NO.
DA-300.1

SCALE
1 : 150

DATE
03.03.2025

ISSUE
A

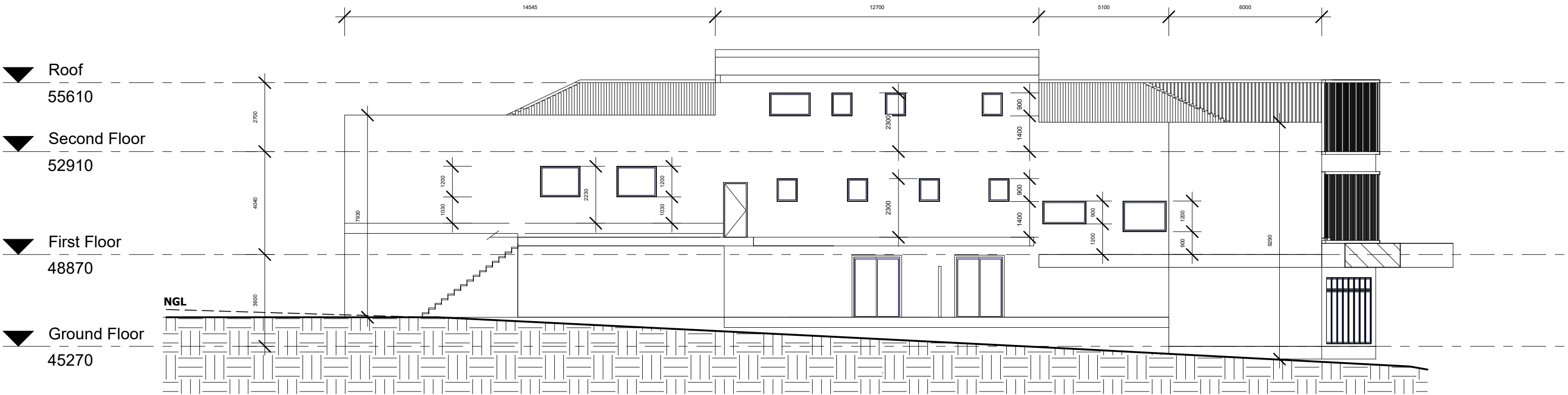
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DRAWING TITLE
Elevations

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18M MAXIMUM BUILDING HEIGHT



EAST ELEVATION



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STATUS
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STAGE
DA

DRAWING NO.
DA-300.2

SCALE
1 : 150

DATE
03.03.2025

ISSUE
A

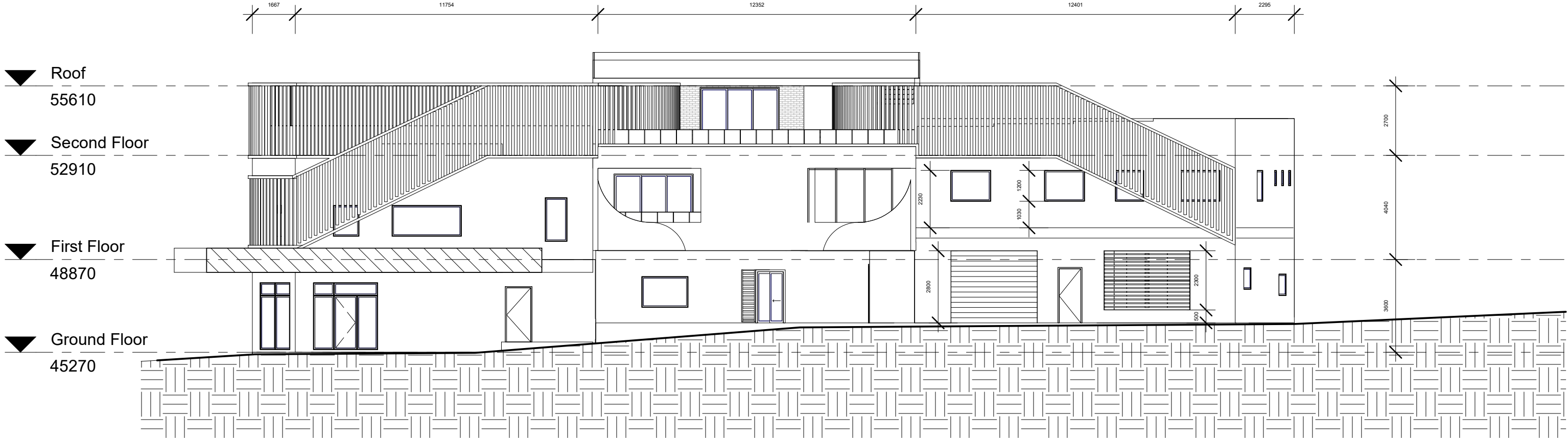
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Elevations

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18M MAXIMUM BUILDING HEIGHT



WEST ELEVATION



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ISSUE DATE PURPOSE OF ISSUE

PROJECT
1246 CANTERBURY ROAD,
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CLIENT
-

STATUS
FOR APPROVAL

STAGE
DA

DRAWING NO.
DA-300.3

SCALE
1 : 150

DATE
03.03.2025

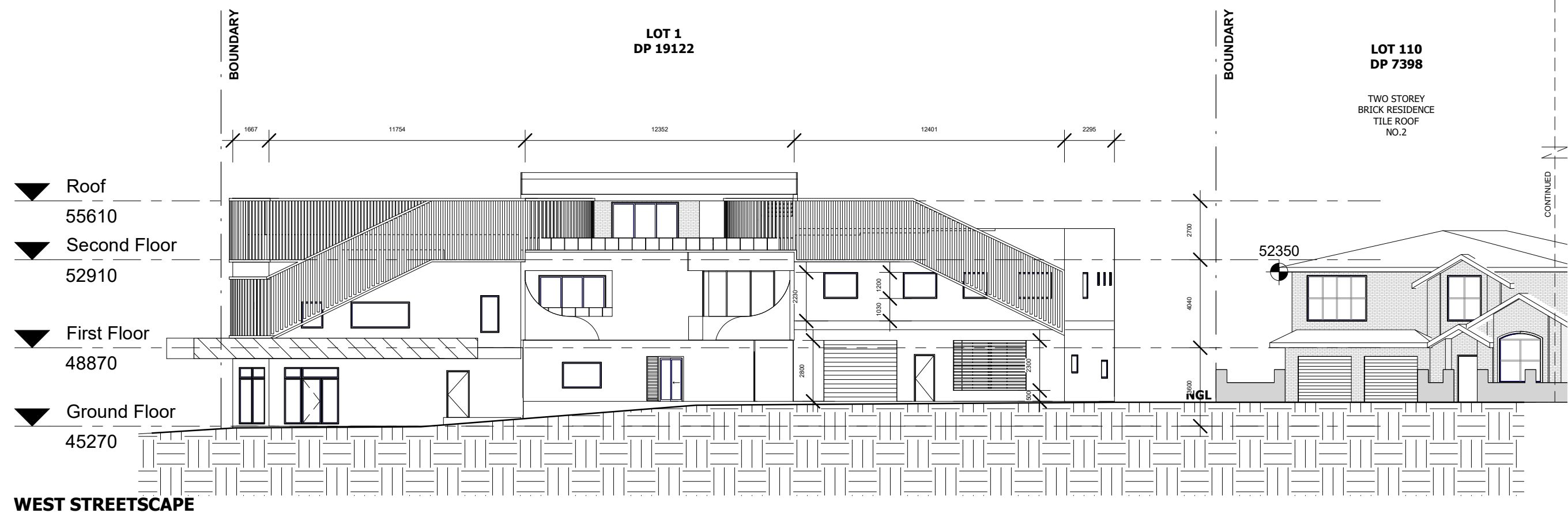
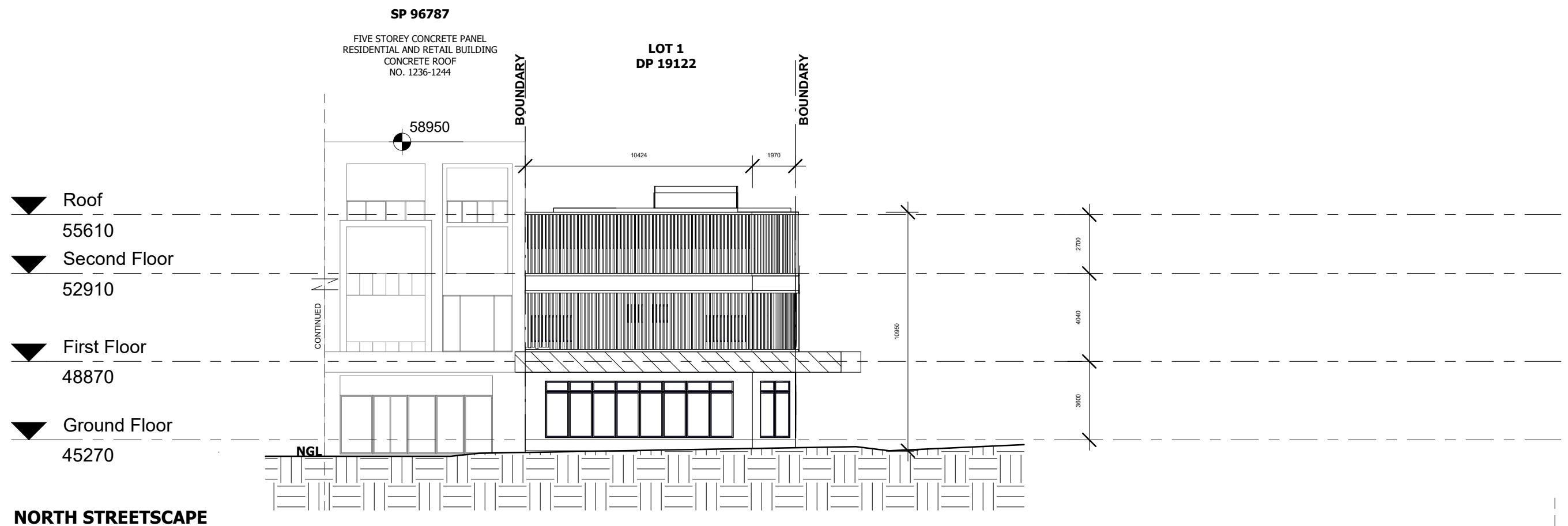
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Elevations

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PURPOSE OF ISSUE

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STATUS
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STAGE
DA

DRAWING NO.
DA-302

SCALE
1 : 200

DATE
03.03.2025

ISSUE
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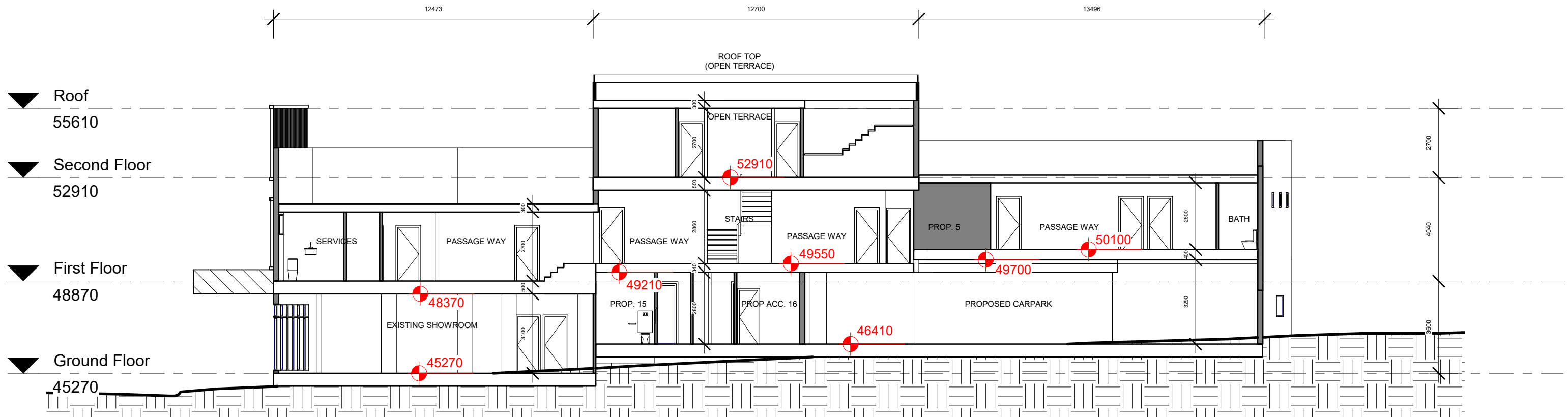
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DRAWING TITLE
Streetscape

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18M MAXIMUM BUILDING HEIGHT



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PROJECT
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CLIENT
-

STATUS
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STAGE
DA

DRAWING NO.
DA-400

SCALE
1 : 150

DATE
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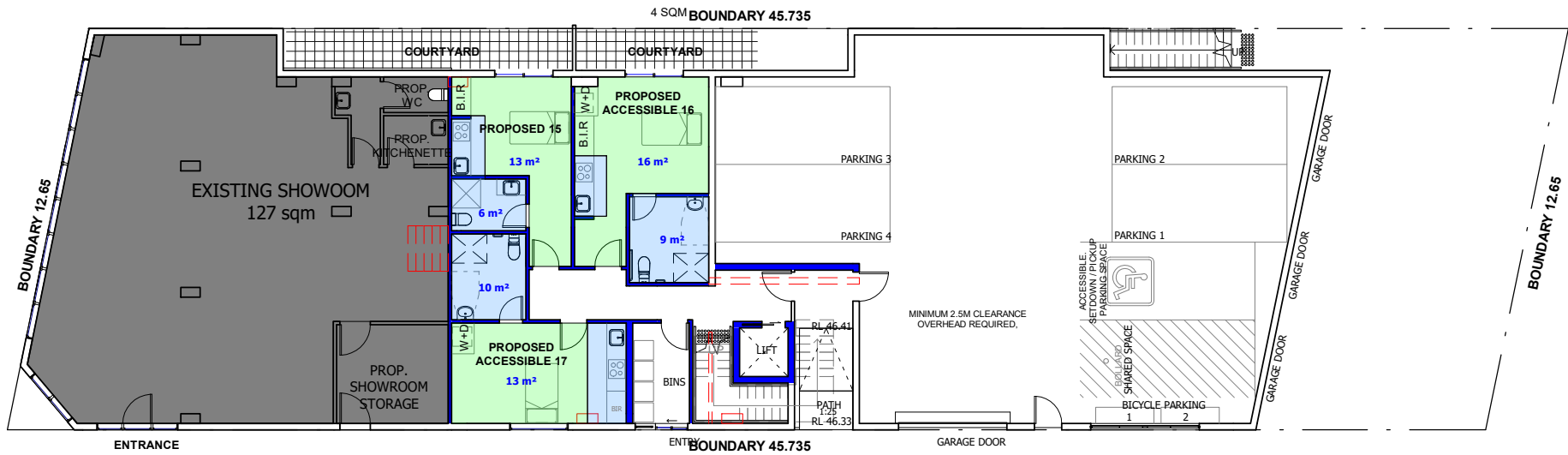
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JOB NO.
21433

DRAWING TITLE
Section

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WB

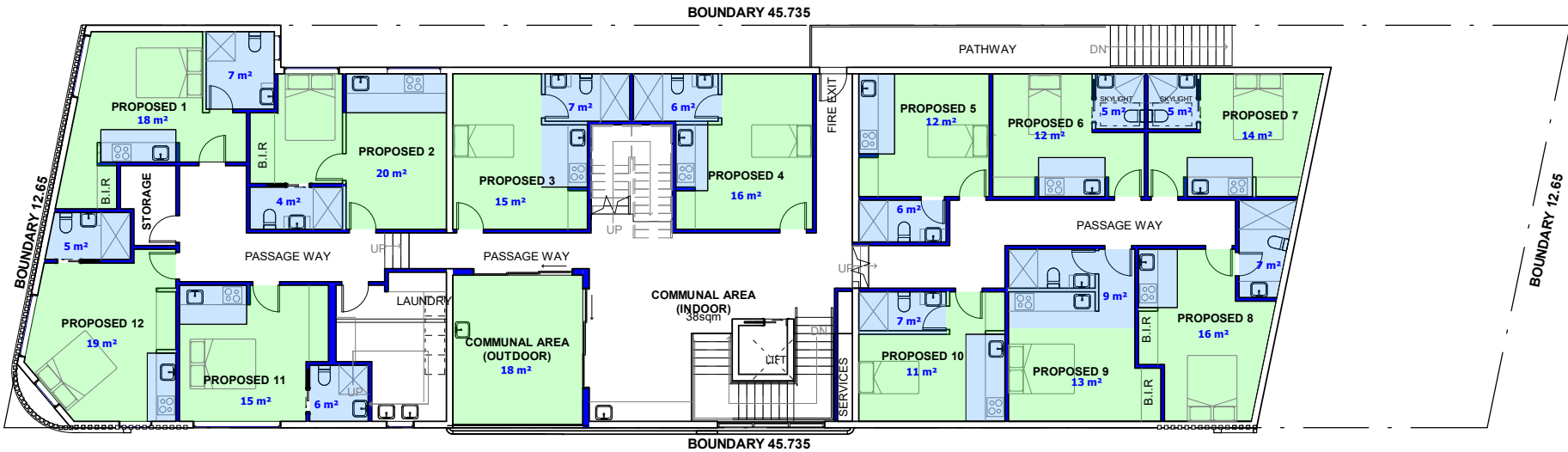
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UNIT SCHEDULE
GROUND FLOOR

PROPOSED NO.	TYPE	INTERNAL AREA	ROOM AREA	WET AREA
15	SINGLE	19m ²	13m ²	6m ²
16	SINGLE	25m ²	16m ²	9m ²
17	SINGLE	23m ²	13m ²	10m ²

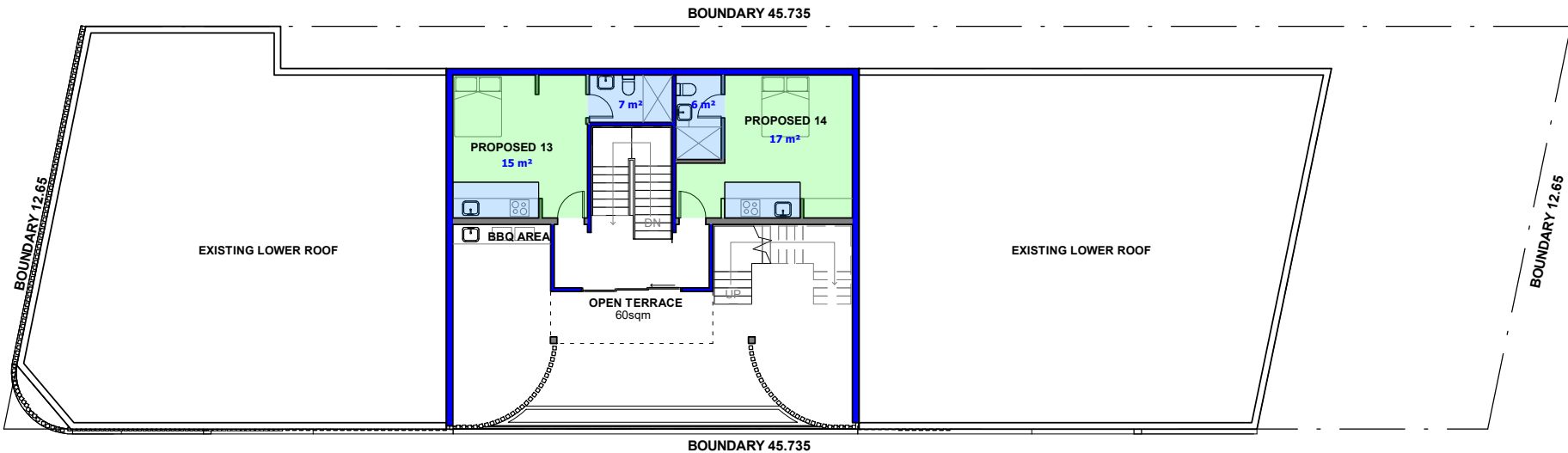
GROUND FLOOR - AREA CALCULATIONS



UNIT SCHEDULE
FIRST FLOOR

PROPOSED NO.	TYPE	INTERNAL AREA	ROOM AREA	WET AREA
1	DOUBLE	25m ²	18m ²	7m ²
2	SINGLE	24m ²	20m ²	4m ²
3	SINGLE	22m ²	15m ²	7m ²
4	SINGLE	22m ²	16m ²	6m ²
5	SINGLE	18m ²	12m ²	6m ²
6	SINGLE	17m ²	12m ²	5m ²
7	DOUBLE	19m ²	14m ²	5m ²
8	DOUBLE	23m ²	16m ²	7m ²
9	DOUBLE	22m ²	13m ²	9m ²
10	SINGLE	18m ²	11m ²	7m ²
11	DOUBLE	21m ²	15m ²	6m ²
12	DOUBLE	24m ²	19m ²	5m ²
NA	COMMUNAL AREA	18m ²		

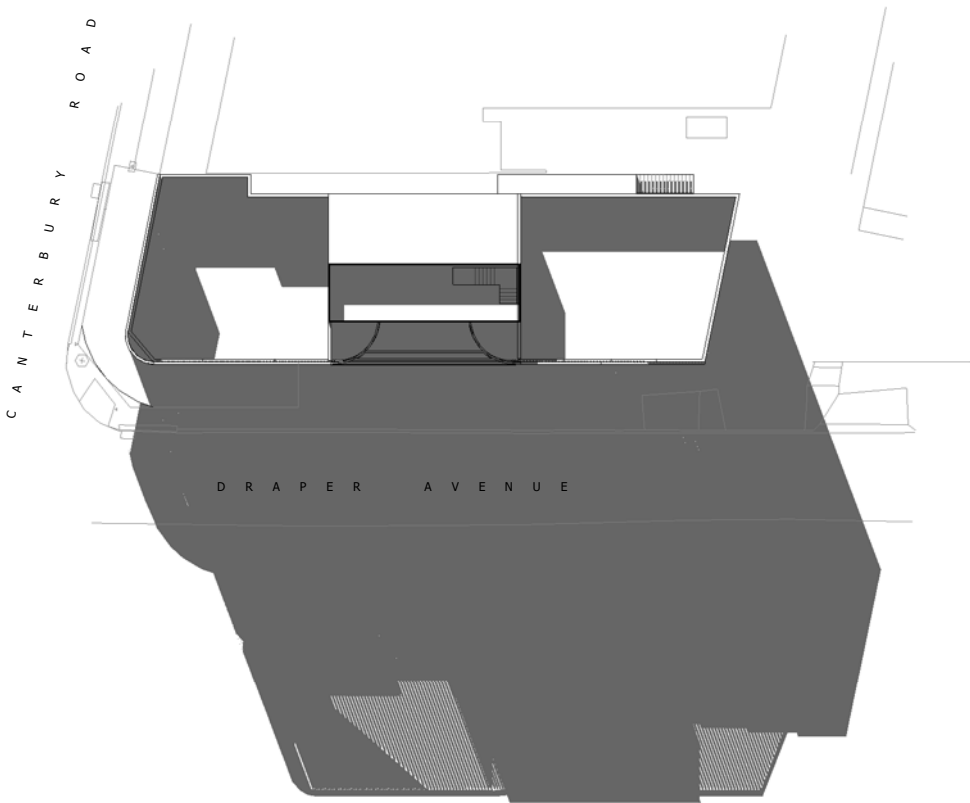
FIRST FLOOR - AREA CALCULATIONS



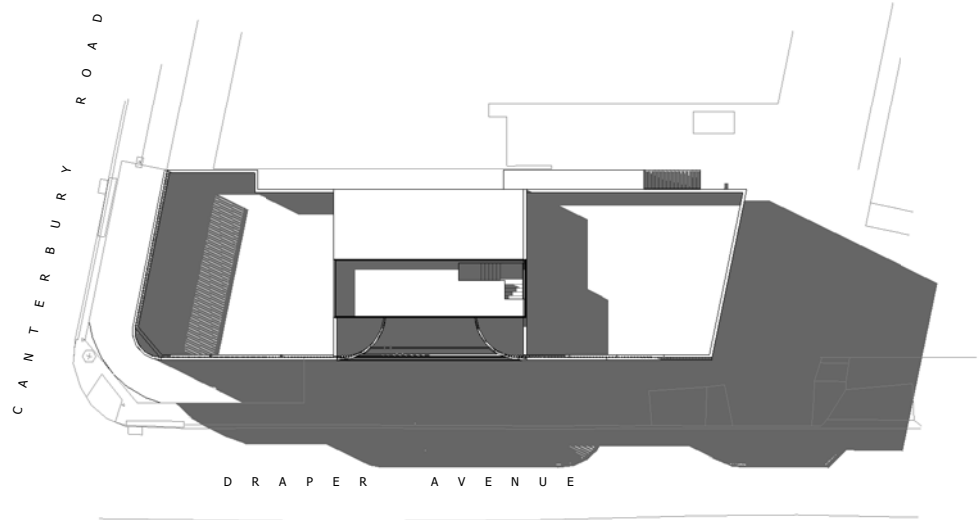
UNIT SCHEDULE
SECOND FLOOR

PROPOSED NO.	TYPE	INTERNAL AREA	ROOM AREA	WET AREA
13	DOUBLE	22m ²	15m ²	7m ²
14	DOUBLE	23m ²	17m ²	6m ²

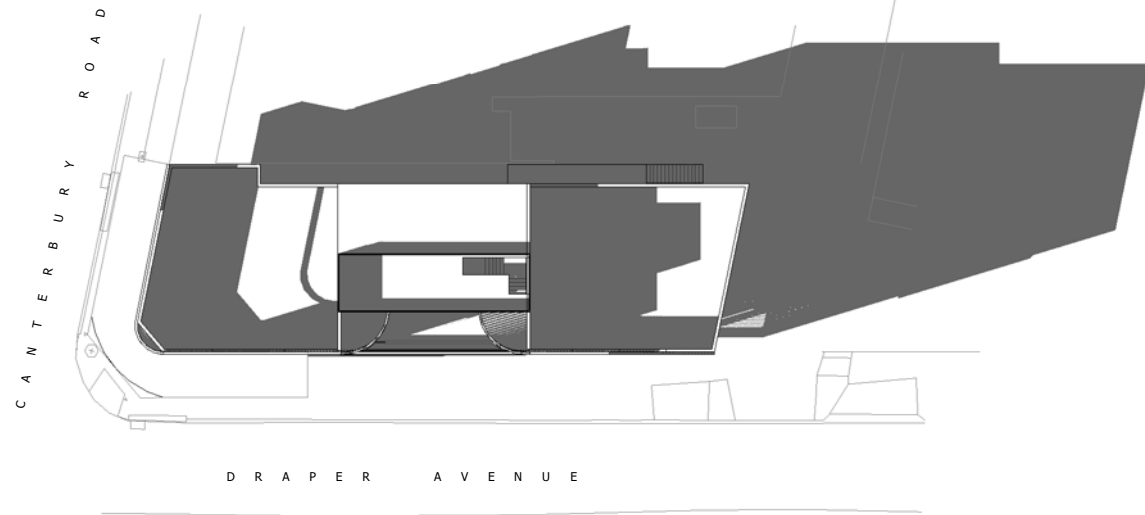
SECOND FLOOR - AREA CALCULATIONS



9AM 21 JUNE - SHADOWS



12PM 21 JUNE - SHADOWS



3PM 21 JUNE - SHADOWS



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NOTE

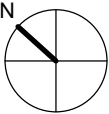
ISSUE DATE PURPOSE OF ISSUE

PROJECT
1246 CANTERBURY ROAD,
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STATUS
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STAGE
DA



DRAWING NO.
DA-600

SCALE
1 : 500

DATE
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21433

DRAWING TITLE
Shadows - Plans

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architecture / urban design / interior design

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DRAWING NO.
DA-701

SCALE

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03.03.2025

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21433

DRAWING TITLE
3D Visual

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STAGE
DA

DRAWING NO.
DA-702

SCALE

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03.03.2025

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DRAWING TITLE 3D Visual	



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PROJECT
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STAGE
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DA-703

SCALE

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JOB NO.
21433

DRAWING TITLE
3D Visual

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